



Elevated living...Redefined!

THE OAKS



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Welcome to The Oaks, a living oasis inspired to delight the senses. The conception of The Oaks began with an idea to create a fresh expression of luxury in the neighborhood of Vasna Road, long known for its graceful residences.

With every amenity inside your residence, and every convenience nearby, you'll be able to live a life of elegant simplicity.

The Oaks offers uncompromising quality of construction, innovative design and A-list amenities that help create a lifestyle you always deserved.

A team of highly experienced & committed technocrats at Futurescapes have collaborated to create a whole new lifestyle. The team strives to achieve the highest standards of quality and create an international class housing infrastructure for your family.

Fine living finds a new home at The Oaks. Designed for the discerning, striking the perfect balance between form and function.

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Architect - speak

Elegance, ease, cool. The air of modernity and following of clear-cut lines is distinct. We have attempted to create functional spaces with aesthetics ingrained, redefining good living. The planning involves minute detailing to create a timeless living space.

A small project, the challenge for us was larger to offer heightened comfort to the residents. It has been a satisfying experience and hope our efforts are appreciated by the residents.

Suryakant C. Bhavsar, Ahmedabad
Architect

(NB: Mr. Bhavsar with an architectural experience of over four decades has worked on several housing projects across the country. His work has received critical acclaim and he has been conferred as 'The Best Architect of the Year Award' apart from many others.)



Structure: RCC earthquake resistant frame structure (12 ft. foundation)

Parking: Reserved, covered Car Parking with combination of kota & paver blocks

Elevator: Schindler fully automatic 8 Passenger Lift. Gearless mechanism with auto rescue device- First time in a residential project in Vadodara.

Wall Finish:

Interiors: Birla white cement putty

Exteriors: Double coat plaster with weather coat paint

Electrical:

Concealed copper ISI wire with 3 phase connection

Legrand modular switches

built-in Inverter circuit

Doors: Designer Teakwood maindoor. Flush doors with locks. All door frames in ghana teak.

Windows: High quality colour anodized aluminium windows

Kitchen: Granite platform and SS kitchen sink

Toilets:

Designer toilets with premium CP fittings (Jaguar/ Kohler / Euro or equivalent)

Sanitary fittings & table-top basin.

Full height designer tiles.

Shower panel in master bed bath

Separate wet & dry areas

Flooring: Vitrified Flooring (3x3 ft)

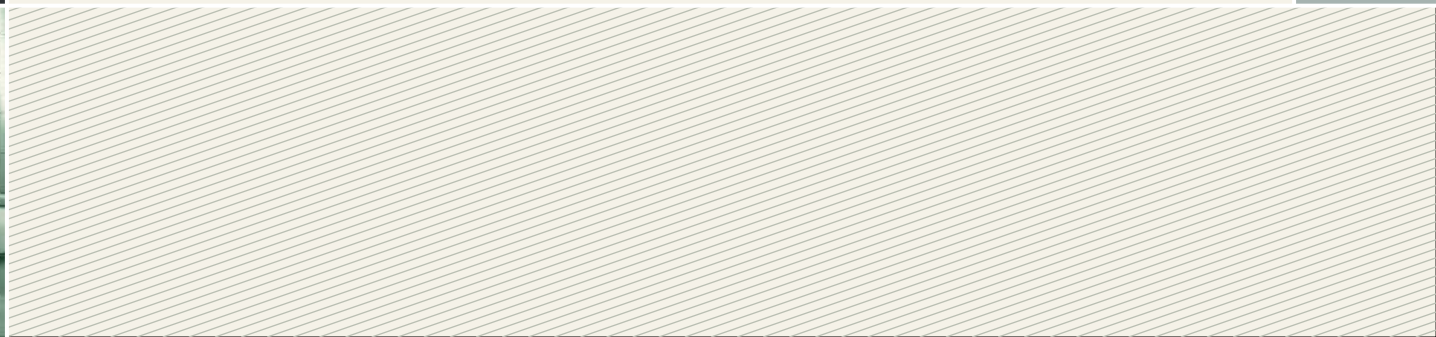
Water Supply:

24 hrs through corporation & bore well

Water softening plant,

Auto level control

Terrace: Water proofing with ceramic flooring.





Live where everything is within easy reach

- * Just 500 meters away from the prime Old Padra Road.
- * Off Vasna Road, shielded by Taksh Complex from the hustle bustle of Vasna Road.
- * Situated in a quiet corner of a RCC finished lane with lush green trees all around. Surrounded by big bungalows and facing the tennis court.
- * Conveniently close to
 - Retail Outlets:** Dmart, 6 Ten
 - Restaurants:** McDonald's, The Baking Company, Periyar, Zaika, Smokin' Joes Pizza, Havmor
 - Educational Institutions:** Navrachna School & University, Bright Day School, Sant Kabir School
 - Petrol Pump:** Within 1 Kms.
- * Railway Station: 5 kms (approx.)
- * Airport: 9 kms (approx.)

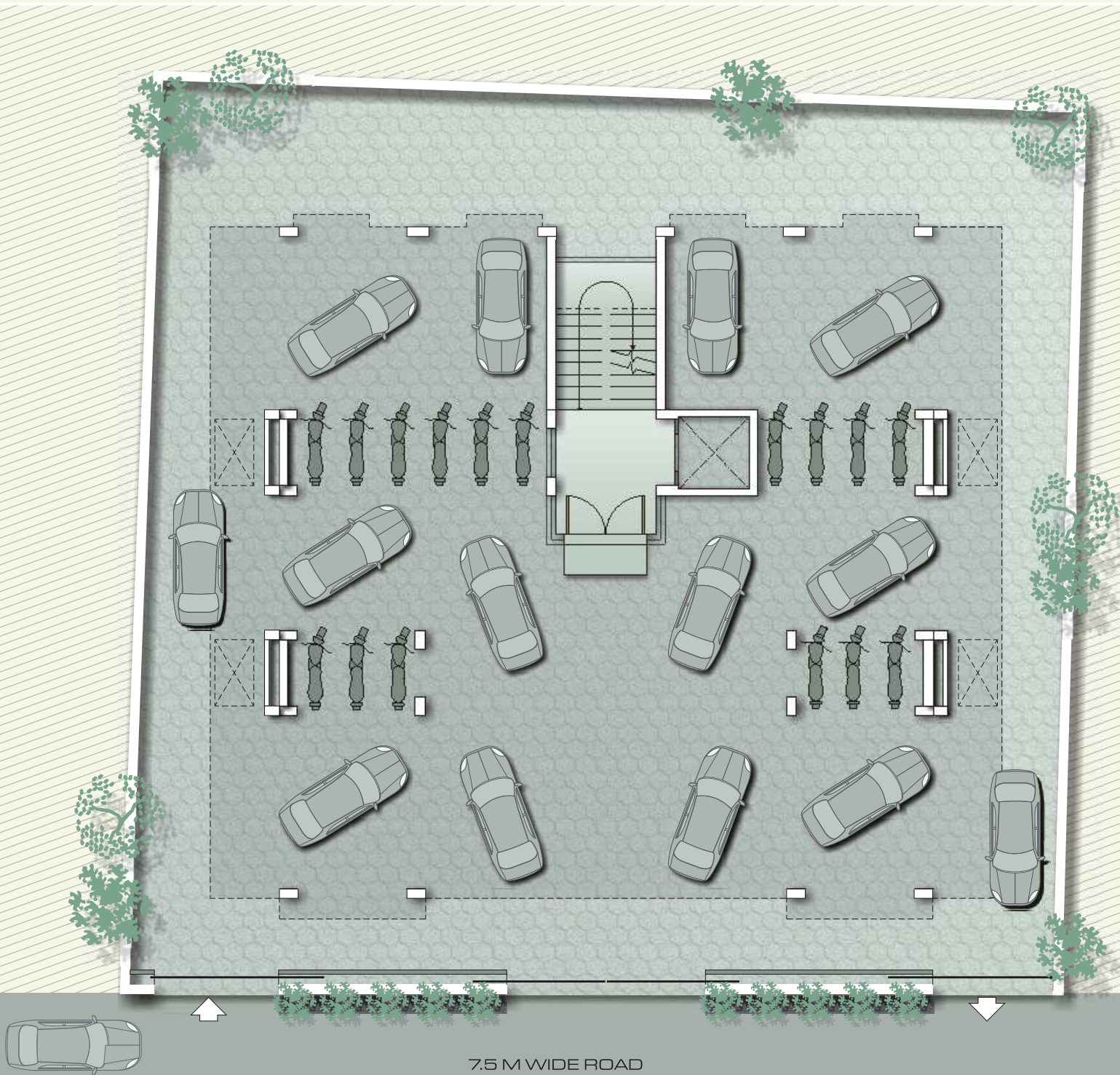


Site: 10 Shobhana Nagar, Off Vasna Road, B/H Taksh Bungalows, Vadodara-390007.





GROUND FLOOR (PARKING) PLAN

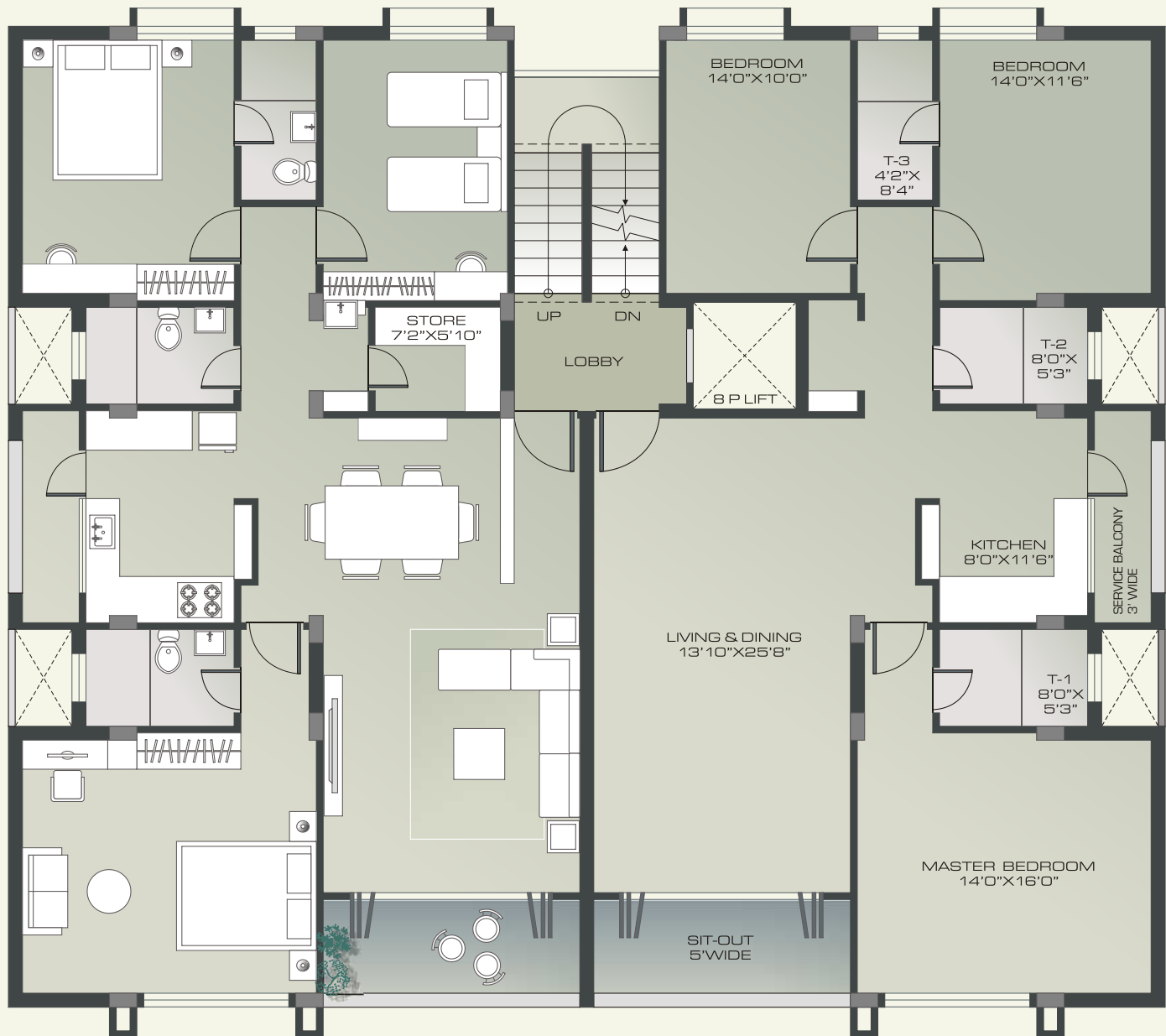


7.5 M WIDE ROAD





TYPICAL FLOOR PLAN







PENTHOUSE LOWER LEVEL PLAN







PENTHOUSE UPPER LEVEL PLAN





a project by



FutureScapes
Developing Intelligent Spaces



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Architects: **Suryakant C Bhavsar**, Ahmedabad. Associate Architect: **Ms. Palak Chitkara**
Structural Engineer: **A. A. Desai**

Notes: **MGVCL** charges, **VMC** water charges, Maintenance charges, Development charges/ documentation charges(stamp Duty),Registration charges, Municipal house tax & service tax (if applicable) would be extra. This document is not legal document and cannot form part of any offer, contract or legal agreement. All plans, specifications, information are subject to change may be required by the promoter or architects without prior notice.